

COMPLIANCE STATEMENT

January 2018

Rugby Free Secondary School & Quest Academy, Anderson Avenue, Rugby



	PAGE
1.0 INTRODUCTION	3
2.0 DESIGN PARAMETERS	4
3.0 SCALE	6
4.0 LAYOUT	8
5.0 LANDSCAPE & HARD SURFACING	10
6.0 APPEARANCE	12
7.0 ACCESS	18
8.0 CONSTRUCTION	20
9.0 OTHER REQUIREMENTS	22
APPENDIX A - COMPLIANCE SUMMARY TABLE	24

Ref : 290 RM Compliance Statement FINAL 010218

Prepared on behalf of



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1.1 CONTEXT

The site referred to as 'Land adjacent to Rokeby Primary School, Anderson Avenue, Rugby' received the benefit of an outline planning permission (OPP) (Ref. RBC/16CC016) on 21st December 2017 with all matters reserved apart from access, to allow the development of a new secondary school, associated sports provision, new SEN school, demolition of the existing Rokeby Infant School and replacement playing fields (the 'committed development').

The OPP was issued following the signing of a S106 Agreement to secure a financial contribution towards specific highways improvements to enhance the Rugby Gyratory System.

BAM Construction (BAM) has prepared a reserved matters submission on behalf of the Applicants (Warwickshire County Council and the Education Skills & Funding Agency) in accordance with Article 6 of The Town and Country Planning (Development Management Procedure) (England) Order 2015 to seek approval from Warwickshire County Council (WCC) for the appearance, landscaping and hard surfacing, layout, scale and access (with the exception of the access from Anderson Avenue) of the development, as required by Condition 1 of the OPP.

1.2 PURPOSE OF STATEMENT

The Design & Access Statement (DAS) that supported the outline planning application (OPA) for the site summarised the design process undertaken to inform and support the outline development proposals. The DAS then communicated the key design and access principles of the application, as embodied within the approved Concept Masterplan and Parameters Masterplan that are described in further detail in Section 2 below.

The details of the reserved matters applications must be in line with the OPP, including any conditions attached to the permission.

In addition to Condition 1, the OPP imposes a number of other conditions that seek to ensure that the detailed design and layout of the development meets all the relevant design requirements of the appropriate authority.

The reserved matters application seeks to address the various requirements of those conditions that might influence the detailed design. As consideration of these requirements is integral to the proposed layout of development, specific reference has been made to the design requirements for each of these aspects as part of the reserved matters submission, as described in further detail in Sections 3.

In summary, this Compliance Statement seeks to highlight how the reserved matters details submitted for this committed development are in general accordance with the approved design parameters and related conditions of the OPP.

In considering this submission, approval from WCC is, therefore, sought for all reserved matters and those OPP conditions as appropriate.

1.3 CONSULTATION

BAM and their professional advisors has undertaken direct consultation with the Applicants (WCC Education and the ESFA) through the OPA process to ensure that the design and development parameters are clearly understood, and to understand more fully any concerns or expectations of the relevant decision takers and interested parties, including local residents. BAM and their advisors attended both WCC Planning Committee meetings at which the OPA was considered.

Direct pre-application consultation has continued with the key stakeholders of the project, including both proposed school operators and their staff, as well as WCC Education and the ESFA. BAM has also consulted with County and Local Authority Officers advising on matters relating to highways, drainage, ecology, biodiversity, landscape, archaeology, Rights of Way, and environmental protection, to inform the design development of the scheme. This has been an iterative process and has sought to ensure that all technical and practical requirements of the development are fully addressed by the reserved matters submission.

A flyer has been posted to local residents in the immediate area of the site to notify them of the reserved matters proposals submission to WCC for consideration. Copies of all submitted plans and documents are available for viewing via www.defineconsultations.com/RugbySchools.

All comments on the reserved matters proposals are to be submitted to WCC for consideration as part of the formal planning application consultation process.

FIGURE 1: CONCEPT MASTERPLAN

2.1 DEVELOPMENT ZONE

Condition 3 of the OPP requires the reserved matters submissions to be substantially in accordance with the land use zoning indicated on the Concept Masterplan Ref. 015232_SK034 Rev A (as shown in Figure 1).

The approved development zones have been established to secure the required area of education accommodation to support the needs of both schools, as well as provide for the optimum area of recreation space that can be achieved in conjunction with this.

The zones identified respond to the findings of various site and technical assessments completed in conjunction with the outline application, taking into account the surrounding context, and seeks to maximise the viability of the development in response to those.

2.2 DEVELOPMENT SCALE

Condition 3 of the OPP also requires the reserved matters submissions to be substantially in accordance with the maximum numbers of storeys for buildings indicated on the parameters masterplan Ref. 015232_SK031 Rev A. (as shown in Figure 2)











Similarly, the process followed to identify the maximum buildings heights responded to the findings of various site assessments that took account of the surrounding context, including the proximity of existing properties to the site.



FIGURE 2: PARAMETERS MASTERPLAN



Key:

- | | | |
|---|---|---|
|  ZONE 1 - Sports Pitches / Playing Fields / External Play Area |  Landscaped buffer zone (and culverts) |  Application Boundary |
|  ZONE 2 - Building Zone (1-2 Storey) |  Existing trees/ vegetation |  Proposed new boundary of Rokeby Junior School |
|  ZONE 3 - Building Zone (3 Storey) |  Pond / area of standing water |  Main vehicle access point |
| |  Existing Trees | |

2.3 SCOPE OF RESERVED MATTERS

The scope of the reserved matters submission has been directly determined by the conditions attached to the OPP that was granted in December 2017. These are described in detail in the following sections (notably Sections 3.0 - 7.0) of this Compliance Statement and the matters considered are fully in accordance with the requirements of Condition 1 of that permission.

Other aspects identified by WCC that are required to be considered in relation to the proposed development, as required by specific conditions attached to the OPP, are summarised in Sections 8.0 and 9.0.

Section 8.0 summarises aspects related to construction processes and management that will be directly incorporated into the scheme and/or implemented by BAM during construction.

Section 9.0 summarises aspects that are being considered and managed directly by the Applicants (or their advisors) and the details of which do not form a specific part of this submission. These relate to archaeological investigations that have already been completed and off-site highways works that will be carried out separately to the proposed onsite highway and access works that form part of the school development itself.

These aspects, including associated investigations, reporting, detailed design and/or works are to be managed and the relevant conditions discharged directly by the Applicants.

3.1 USE & AMOUNT

As a Central Government funded project, the specification for the development has been fixed to ensure the necessary level of funding is available. As such the use and amount of development has been explicitly defined by the Education Funding & Skills Agency (ESFA).

The OPP established the principle for the development of a secondary school, Special Educational Needs (SEN) school with associated recreation and infrastructure. Based upon this, the reserved matters submission includes the detailed design information for the development of the following:

- Rugby Free Secondary School
- Quest SEN Academy
- Shared Sports Hall
- External Sports and Recreation Areas
- Parking and Circulation Areas

The development includes the demolition of existing primary school buildings within the northern-most section of the site and their replacement to provide an additional area of external recreation space. Any temporary accommodation to support the secondary school will be removed once the development is complete, as is reflected in the approved Concept Plan and Parameters Plan.

3.2 RUGBY FREE SECONDARY SCHOOL

As indicated above, Rugby Free Secondary School is currently housed within temporary accommodation that occupies an area of the site. The school currently comprises classrooms for 360 pupils.

The development of a new building proposes an internal floor area of 9,613m², set over three storeys of accommodation towards the centre of the site in accordance with the approved development parameters. The building has a roof height of 12.75m above finished ground level, with clerestory windows projecting to 14.75m that are set back 7.6m from the parapet.

The building comprises 65 classrooms and will provide accommodation for up to 1,470 pupils, including up to 420 sixth form places.

3.3 QUEST ACADEMY

The Quest Academy will provide mixed educational accommodation for 80 pupils from 9-19 years of age, with special educational needs (SEN) across the social, emotional and mental health, and autistic spectrum conditions. The accommodation includes 2 classrooms for key stage 2 (primary), 5 classrooms for key stages 3&4 (secondary) and 2 sixth form classes. There are ancillary specialist rooms for art, science, IT and design technology. A small sports hall and dining rooms form the shared spaces of the school.

The Quest Academy site is 1.41 ha and the site and school building have been designed based on the Department for Education's school area recommendations for SEN schools, Building Bulletin 104 (BB104). It has a gross internal floor area (GIFA) of circa 2,000m² in a split single storey and 2 storey arrangement. The building and site arrangement allows for some community and extended school use, although as a result of the specialist SEN use, this is not a significant part of the school's function.

The north side of the school site is used for staff and visitor parking, pupil set down, service access with sufficient area for separate vehicle and pedestrian access. The remainder of the site is used for the building footprint and float area (landscaping and access).

3.4 SPORTS HALL

The proposed Sports Hall building will provide 1,483m² of accommodation. The proposed building is 10.5m in height and physically connected to the secondary school building by the 2 storey main school entrance.

The Sports Hall will provide the following facilities:

- 4 courts the markings for basketball, hockey, badminton, football, netball and cricket
- activity studio for martial arts, yoga and dance and aerobics
- internal and external equipment storage areas
- changing rooms
- lockers

In response to the requirements of Condition 5, it is proposed that the Sports Hall will be constructed substantially in accordance with Sport England's Technical Design Guidance Note.

Minor variations to the design specification of the Sports Hall relate to the size of the hall, as opposed to it's function. Notably, the hall is 33m x 18m and accommodates the full range of sports required, but reflects Sport England's earlier specification by incorporating a slightly narrower runoff area. Direct consultation on the proposed detailed design of this facility has been undertaken with Sport England and further formal consultation will be carried out during the determination of the application to confirm the specification.

Given the shared use of the Sports Hall, Condition 33 requires that Community Use Agreement is prepared and approved within 12 months of the grant of OPP. This will be prepared within the appropriate timeframe as outlined in Section 9.4 below.

3.5 EXTERNAL SPORTS & RECREATION AREAS

Figure 3 identifies the locations of the external sports and recreation areas. These have been located to relate to the function of each proposed school and the existing Rokeby Primary School.

The areas comprise:

- Rokeby Primary School - following demolition of identified school buildings the area combined with an existing informal football pitch will be replaced by 4 grassed football pitches.
- Rugby Free Secondary School - the area to the west of the school building will provide a multi-use games area (MUGA) comprising 4 netball courts and 5 tennis courts, as well as general circulation, outdoor seating and external learning areas.
- Quest Academy - the area to the rear of the school building is designed to provide 912m² of informal hard play and 1,315m² of informal soft play. A 638m² hard-surfaced games court of and 2 small sports pitches are provided on a 3,625m² playing field area. The Quest Academy also has shared use of sports pitches and other sports facilities within Rugby Free Secondary School, as well as the proposed Sports Hall.
- Sports pitches - the area to the south of the secondary school building will a comprehensive mix of green pitches and dedicated sports areas comprising of two senior football pitches, rugby pitch, hockey pitch, an athletics track and long jump.

3.6 PARKING AND CIRCULATION AREAS

The parking and circulation requirements of each school have been considered in detail in consultation with WCC Highways and with reference to the assumptions agreed as part of the OPA and subsequent reserved matters pre-application process, to ensure a robust approach to both the quantum and layout of parking. The proposed site layout reflects these assumptions, as described in full in the supporting Reserved Matters Transport Technical Note.

Circulation for pedestrians, cyclists and all vehicles required to access the site has been carefully considered. Vehicular access is required by bus, minibus, car, delivery and maintenance, and refuse vehicles, and the required circulation areas have been tested using an assessment of vehicle tracking of all vehicles sizes and taking into account the quantity of vehicles accessing the site.

The Technical Note confirms that the quantum and layout of parking proposed in conjunction with the development is in accordance with relevant standards and design guidance. In brief the scheme includes:

Rugby Free Secondary School

- 140 total spaces inclusive of 8 disabled bays and 3 minibus bays
- 158 cycle spaces and 6 motorcycle spaces
- (sufficient waiting space for up to 6 large coaches without impacting on the free flow of the car park)

Electric vehicle charging bays are proposed within the car park, close to the school building, and will be managed by the school. The layout allows for additional bays to be provided in the same vicinity in future, subject to an increase in the demand for such being identified through ongoing monitoring of parking requirements.

Quest Academy

- 65 total spaces inclusive of 5 disabled bays and 3 minibus spaces
- 10 cycle spaces
- (sufficient waiting space for up to 23 cars or 18 minibuses without impacting on the free flow of the car park)

A full description of the proposed access arrangements for the development are described in Section 7.0 below.

6 Rugby Free Secondary School & Quest Academy

FIGURE 3: OVERALL SITE LAYOUT



4.1 DEVELOPMENT ZONING

The proposed layout of development accords with the approved development zones as illustrated in **Figure 4** and as referenced in OPP Condition 3, except that the proposed Sports Hall extends northwards of the building zone (Zone 3). This has been as a result of the key aim to protect the amenity of neighbouring properties by maximising the distance of built development from existing dwellings. This approach also reflects the essential functional requirements to ensure good connectivity between this facility and both schools.

In doing so, the entrance to the Sports Hall directly relates to the main secondary school entrance and car park, with gated access available from the Quest Academy, ensuring easy access to the facility by all users, including members of the wider community.

Importantly, this approach does not result in any reduction in the overall provision of external recreation space and the development continues to meet all the requirements of the OPP.

4.2 BUILDINGS

The Rugby Free Secondary School building is three storeys, with a parapet height of 12.75m. It has been carefully offset from neighbouring properties to a minimum distance of circa 137m and 92m (from Long Furlong and Fawsley Leys respectively) in order to ensure that the amenity of residents is protected.

The Quest Academy building similarly addresses the surrounding context, with the lowest part of the roof located on the north west corner of the building, which faces towards the closest properties to the site along Long Furlong.

The layout of development also allows for the retained and proposed planting along the site boundaries and within proposed recreation areas that will filter external views of the overall development.

This is illustrated in the landscape layout and 3D perspectives of the development as shown in Sections 5.0 and 6.0.

4.3 GROUND CONDITIONS & DRAINAGE

The drainage strategy for the site has been informed by the Flood Risk Assessment (FRA) that was considered as part of the OPA. The FRA includes consideration of initial ground assessments that have been extended to include full topographical survey and trial bore holes, as summarised in the submitted Below Ground Drainage Initial Concept Report.

This accords with the requirements of OPP Condition 13. This report confirms that the storm water drainage design follows the exit routes towards the lower eastern field. The flow is limited to existing green field run off rates provided within the FRA.

In accordance with the principles set out within national and local planning policy and guidance, the emphasis has been on the incorporation of Sustainable Urban Drainage Systems (SUDS).

This approach accords with the requirements of Conditions 18 and 28, and has been agreed in principle with WCC's Drainage Officers.

As such, the drainage strategy incorporates a series of swales, detention basins, gravel filled trenches and porous surfaces in accordance with Condition 18.

4.4 EARTHWORKS AND SITE LEVELS

The proposed earthworks are illustrated in submitted Overall Levels Strategy plan (Ref: 526-1109). This illustrates that only minimal changes are proposed across the site with primary level changes relating the surface water drainage strategy and sports pitch provision.

Condition 4 requires details of earthworks and finished floor levels of buildings, including existing and proposed site levels, to ensure that the scheme demonstrates an appropriate relationship with adjacent land and buildings.

The submitted RM plans include all level information and site sections in key locations to illustrate this relationship and demonstrate that development has been appropriately offset from existing buildings adjacent to the site, between proposed buildings within the site, and that retained and proposed landscape features can be suitably protected and maintained in accordance with Conditions 15 and 30.

4.5 RECREATION

The overall layout of the site has been an iterative process, taking into account the physical and functional needs of all users of the development. In doing so, the location of recreation areas (including all external areas and the Sports Hall) has sought to maximise access for all, ensure the safety of users, and simplify the appropriate management of the various recreational functions within the site.

For this reason the Sports Hall is located to the north of the secondary school building. This allows direct access for use by pupils of both schools and enables community use of this facility and parking at appropriate times (to be detailed within a Community Use Agreement), without compromising the security across the wider school site.

4.6 PARKING

The parking layout has been carefully considered to ensure that it meets the needs of all users of the site. This has been informed by an analysis of the existing operational requirements of comparable schools and is based upon the practical needs of each proposed school timetable.

The approach to the overall layout of the development accords with Condition 10 and ensures that car parking and cycle provision is an integral part of the RM submission. This is described fully in Section 7.0 below, which describes the approach to circulation and all parking provision.

4.7 BRIDLEWAY

Condition 9 requires no development, fencing or amenity planting within 5m of the centre line of bridleway RB30, which lies to the east of the site.

A formal request to WCC's Rights of Way Team has confirmed the alignment of the bridleway and this has been identified on plans to inform the offsetting of development in conjunction with the proposed scheme.

The landscape layout confirms that all hard surfacing, boundary treatment and planting has been offset by at least 6m from the centre line of the bridleway and is therefore in accordance with Condition 8.

FIGURE 4: PROPOSED DEVELOPMENT ZONES



5.1 LANDSCAPE LAYOUT

Figure 5 illustrates the overall landscape scheme that has been prepared for the development. This maintains the core external recreation areas as proposed in the development zones identified within the approved Concept Plan.

A key principle of the landscape scheme has been to maximise the recreational benefits of all external areas for all schools within the site, whilst also protecting as many existing landscape features as possible, and seek opportunities for landscape enhancements that will also improve the ecological and biodiversity value of the development.

As such, the overall approach to the landscape scheme has sought to address the various requirements of OPP Conditions 6, 7, 8, 9, 15, 30, and 31.

5.2 EXTERNAL RECREATION / SPORTS AREAS

The existing building, known as the old Rokeby Infant School that currently serves as temporary accommodation for Rugby Free Secondary School, will be demolished. Green space will then be created in this location, providing flexible pitches and general recreation space for use by the existing Rokeby Primary School.

The wider development will provide a further 56,575m² of grass pitches, laid out as 2 five-a-side pitches as part of the Quest Academy. The southern field provides 2 senior size football pitches, an under 15 / 16 yrs and under 13 / 14 yrs football pitch, plus rugby pitch for winter use, with field sport and athletics provision in summer laid out to provide for cricket, long jump, rounders, javelin, plus a 400m 6 lane athletics track.

Multi Use games courts are provided in both schools, with Quest Academy having a single netball / basketball court and Rugby Free Secondary School having a 5 tennis court / 4 netball court arrangement.

5.3 RETAINED LANDSCAPE & PROTECTION

Conditions 6 and 7 seek to protect existing trees and hedgerows wherever possible.

An Arboricultural Impact Assessment of the proposed scheme has been prepared and is included as part of the RM submission. This includes a tree and hedgerow retention plan which illustrates that any loss of existing trees and hedgerows has been kept to a minimum and predominantly relates to the creation of the new access into the site (as already approved), minimal widening of the access point between the secondary school and sports pitches, and within the area proposed for building demolition and/or subsequent construction.

The protection of retained trees and hedgerows required under Condition 15, is proposed as summarised in the submitted Arboricultural Method Statement included as part of the Arboricultural Impact Assessment.

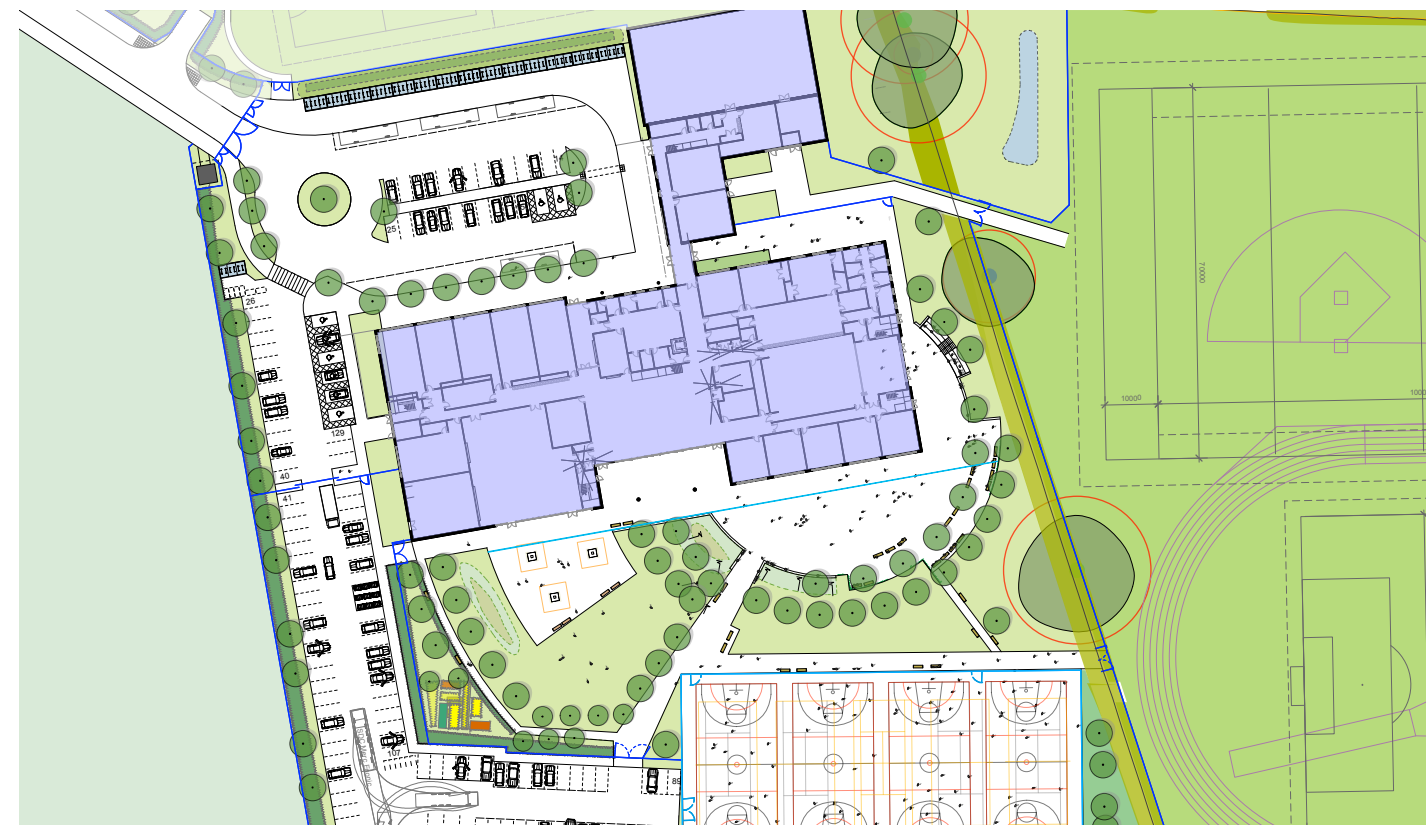
5.4 PROPOSED PLANTING

The planting proposals enhance the ecology within the site by being predominantly native species or berries and nectar rich species and relating to the existing landscape character of open grassland, hedgerows and trees. There is a significant amount of new tree planting with over 100 trees and 430m length of hedgerow providing structure, shade and spatial division between activities and an ecological resource within the school and acting as screening between the school and the adjacent housing.

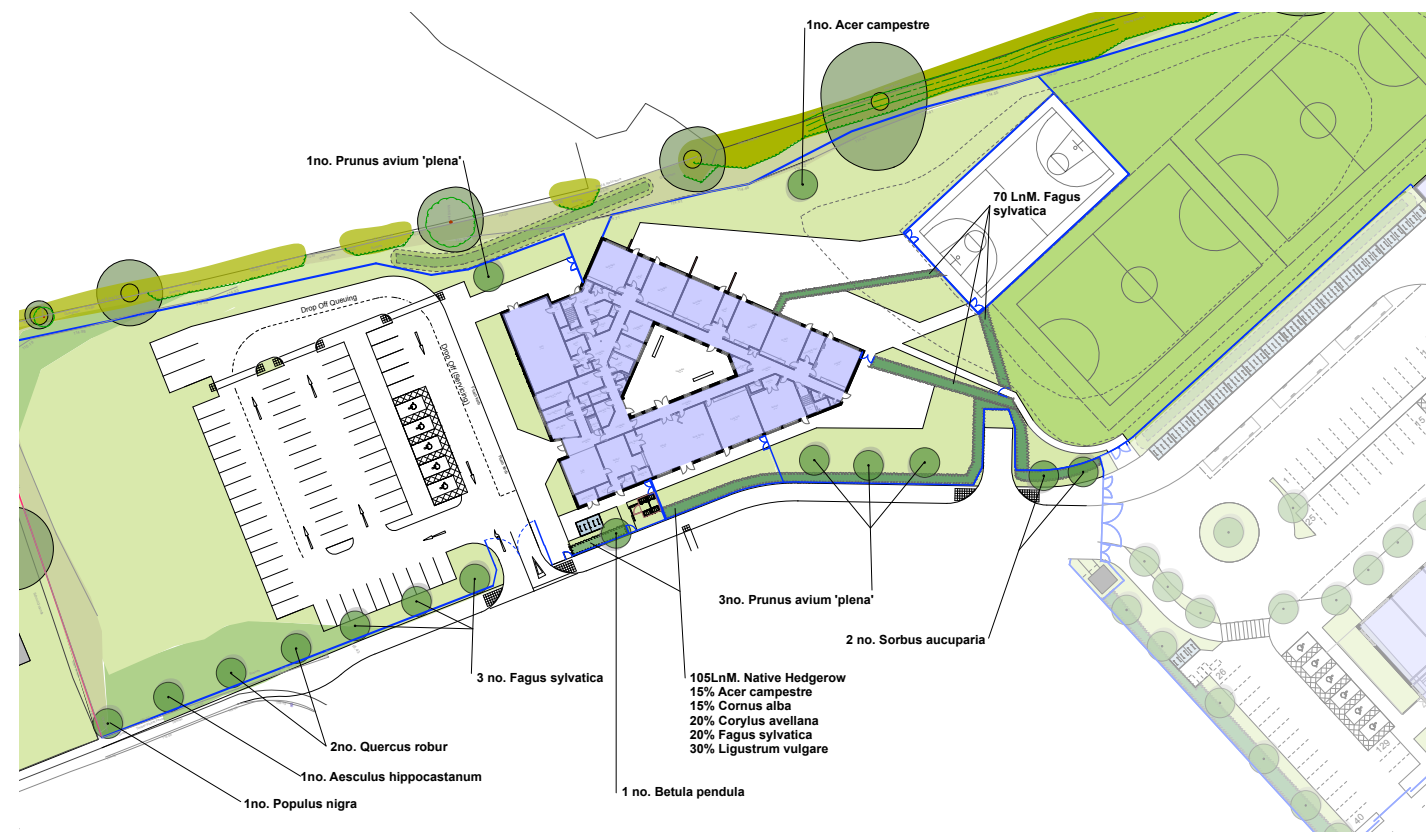
The existing mature hedgerow that runs through the site provides a strong basis for developing an ecological planting area using understorey and shrub planting to reinforce the value of this ecological corridor.

The proposed amenity grass areas will be sown with low maintenance yet robust grass seed.

FIGURE 5: LANDSCAPE LAYOUT EXTRACTS



Rugby Free Secondary School



Quest Academy



3D Illustrations

5.5 HARD SURFACING MATERIALS

The hard surface concept is to provide quality paving slabs or block to define the main entrances and primary social spaces whilst using macadam surfacing in the less prestigious areas or suiting specific activities. All materials have been chosen for their to suit the day-to-day functional requirements of the schools, the operation of the buildings in terms of pedestrian and vehicle accessible areas, and to promote a robust maintenance regime the predominant surface to the school.

The Quest school will have block paving to the main entrance and within the central courtyard whilst the secondary school main entrance area will be defined with quality slab paving and block paving to the main social area.

5.6 BOUNDARY TREATMENT

Boundary treatments have been selected based upon the particular areas of the site they are located and the specific functions they are to provide.

Each school has been considered individually, as has the aesthetic of treatments on the overall appearance of the development.

Fences required to provide secure boundaries are required to be 2.4m in height and wire mesh specification. Where acoustic attenuation is beneficial, such as adjacent to the MUGA, timber fences are proposed.

Site security is enhanced through a clear segregation of curriculum activities from visitor access within the school hours. The layout provides a perimeter fence, 2.4m high around boundary to each school site and 1.8m high around the southern grass sports field. The MUGA courts have 3.6m high weld mesh fence with the west boundary of the secondary school MUGA also having a close boarded timber fence set behind the to Court fence to provide acoustic and visual screening to the housing.

The Quest has additional internal secure lines formed of sections of 1.2m high fence and hedgerow. Refuse stores are screened with 1.8m high close board timber fence and gates.

5.7 SPORTS FACILITIES MANAGEMENT & MAINTENANCE

Condition 22 requires a Management & Maintenance Scheme to be prepared and approved before the Sports Hall and any pitches and courts are brought into use.

BAM will prepare a scheme following approval of the development that reflects the construction approach, building, surface and boundary materials used for each facility, along their specific functions. The scheme will also take into account the operation and maintenance of any related plant and services.

The scheme will then be managed and subsequently reviewed by the school management.



Materials Palette

6.1 RUGBY FREE SECONDARY SCHOOL & SPORTS HALL

Description

The form and massing is a direct response to the school's requirements and site constraints and makes the best use of the development area. The 3 storey single building typology maximises the opportunity to create an efficient and vibrant school with a definitive heart space at the centre while providing the aspirational adjacencies defined in the school specific brief. The integration of the sports facilities on the south eastern end of the block provides good access to external sports and responds well to access by the wider community for out of hours use.

The building form is broken down into 2 principal elements, namely the main building and Sports Hall, which are interconnected by a double-storey entrance. Through careful consideration of proportions through fenestration and materials selection creates variety and visual interest which is unified by a shared pallet of contrasting bricks and cladding together with standardised fenestration.

In order to provide visual impact on approach, a combination of feature rain-screen cladding, signage and double height curtain wall glazing to the visitor's entrance and double height recessed pupil entrance clearly expressed in the hierarchy of the building. Two large feature windows to the double height Learning Resource Centre on the corner provide the light and airy environment identified by the school and afford views and daylight into this area and reflects the academic ethos of the school on arrival.

On the elevations facing to the east and west, the scale and massing of the block is broken down through articulation of materials and mass, relating the buildings scale to the surrounding buildings and site.

FIGURE 6: 3D ILLUSTRATIONS



Materials

Brick has been used consistently at ground floor providing a long lasting maintenance free plinth with cladding on upper levels proposed as an insulated , non-combustible, composite panel system, fixing back to the primary structure to provide a crisp high performance façade.

The fenestration has been tested against climate based daylight modelling and comprises a proprietary aluminium double glazed system with factory finish, incorporating louvres to supply the hybrid ventilation unit that meets the ventilation requirements and Facilities Output Specification. Opening lights are also provided to allow for user comfort and control.

Rugby Free Secondary School’s colours are used as an accent, with purple colour rain-screen cladding inset within the brick piers of the entrance portico. This subtly draws the eye to the main points of entry and architectural features of the building. Elsewhere the colours used are not self-consciously fashionable and will stand the test of time.

Roofs are proposed as a hot melt roofing with insulation and ballast over precast concrete slab generally. A lightweight single ply membrane roof will be used on the Sports Hall.

A secure roof access hatch will be provided on the upper roof with door access to the lower roof.



North West Elevation



North East Elevation including Sports Hall

No. 1

no. 13

No. 4

No. 2

No. 8

Key:

- 1. Brickwork - Red Multi
- 2. Rainscreen Cladding
- 3. Curtain Walling
- 4. Composite Panel
- 5. Balustrade
- 6. Clerestory Rooflight
- 7. Louvers
- 8. Translucent Panel Cladding
- 9. Louvred Door
- 10. Steel Door
- 11. Coloured Glazed Panels
- 12. Window Unit
- 13. Brickwork - Dark Grey

FIGURE 7: ELEVATIONS & MATERIALS PALETTE

6.2 QUEST ACADEMY

Description

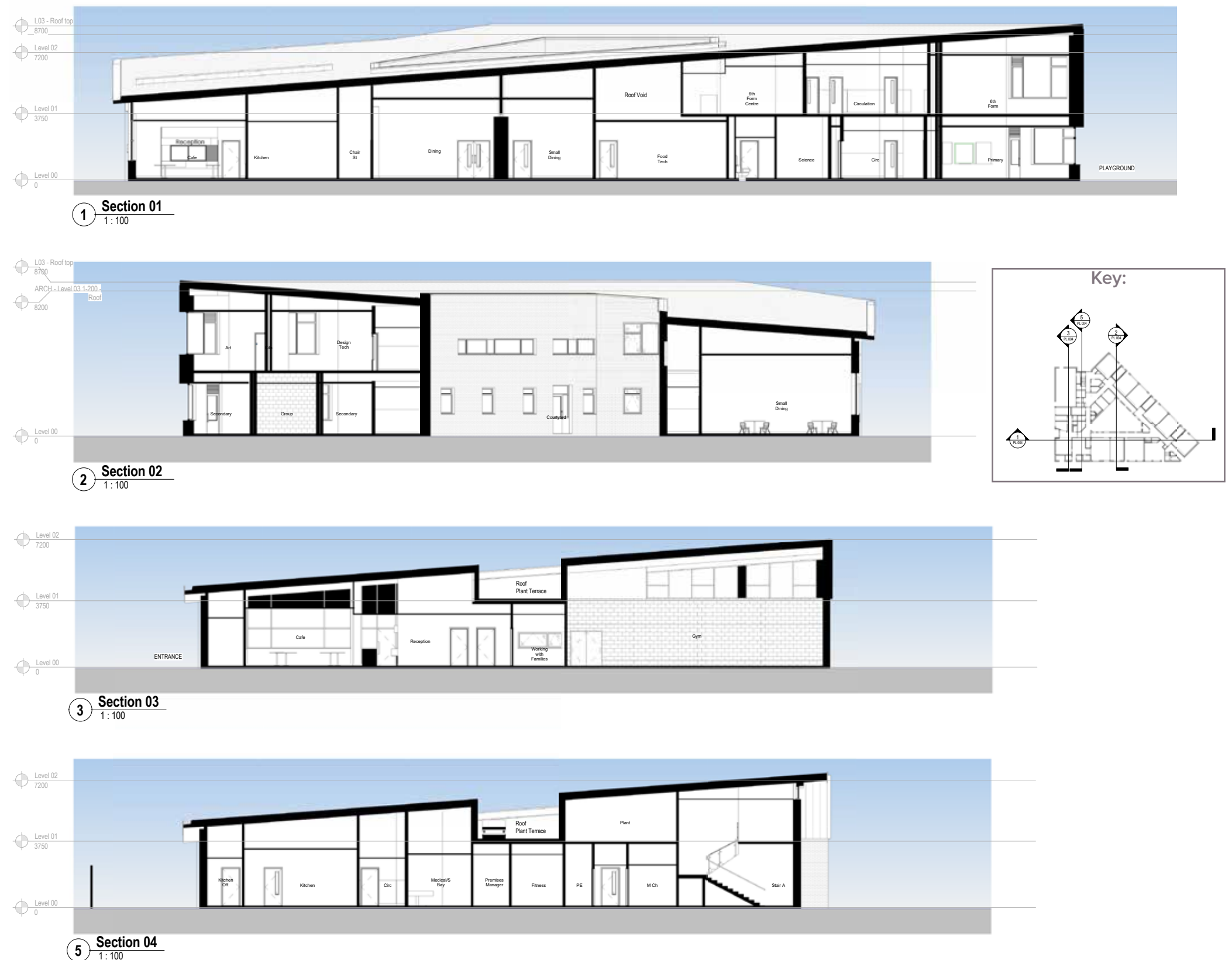
The compact triangular form of the building relates to the specific educational requirements of this specialist school and the opportunities of the site. The arrangement of teaching accommodation enclosing a central courtyard provides a secure interior core with safe circulation. The clean straight lines of the walls are intended to discourage unwanted behaviour and facilitates good supervision. The front of the school is intended to be welcoming and being the lowest section, smaller scale and not intimidating. This elevation also forms the secure line of the school and links with fencing to close off the playground. The southerly facing 2 storeys of classrooms linked to the playground create the highest part of the building and the single slope of the roof reduces in height as it covers the hierarchy of 1.5 storey and single storey rooms. This arrangement creates a wedge-shaped form with the highest section towards the south east. The dynamic of the roof articulates the height of the walls and combined with the arrangement of the windows and doors gives a sense of how the building functions.

Apart from the more open entrance café area the amount of glazing is restricted to avoid large vulnerable areas of glass, whilst still maintaining the need for sufficient daylight and ventilation. Consideration has been given to the view of the building from the road access and the school approach. The form suits the scale of the nearby residential buildings. Brick clad external walls unify the ground floor areas on three sides, with metal cladding providing a vertical transition at full first floor level.



3D Illustration - Axonometric

FIGURE 8: BUILDING SECTIONS



Materials

A materials palette for the scheme has been defined to reflect the practical requirements of each school and to ensure that the external areas visually connect with the built form of the school buildings.

Condition 17 requires a schedule of finish materials for the proposed building exteriors, which is included in the submission.

There is a simple palette of materials that relate to the Quest Academy’s form, the need for robustness and the sensitivity of the site. Buff coloured facing brick walls form simple lines which articulate the triangular plan and wedge-shaped elevations. Grey metal windows varied in size and shape relate to both interior use and provide sufficient daylight and good views. The roof in a single plane is a standing seam metal clad roof system intended to compliment the building simple lines.



3D Illustration - Entrance



1 South East Elevation
1:200



3 North Elevation
1:200



2 West Elevation
1:200



4 East Elevation
1:200



FIGURE 9: BUILDING ELEVATIONS & MATERIALS PALETTE

6.3 SIGNAGE

The requirements for external signage within the site to assist with way finding for all users of the site will be considered in conjunction with the Council’s consideration of the RM submission. This will ensure that the location and design of signage reflects the final layout of the scheme, whilst also taking into account the individual identity of each school.

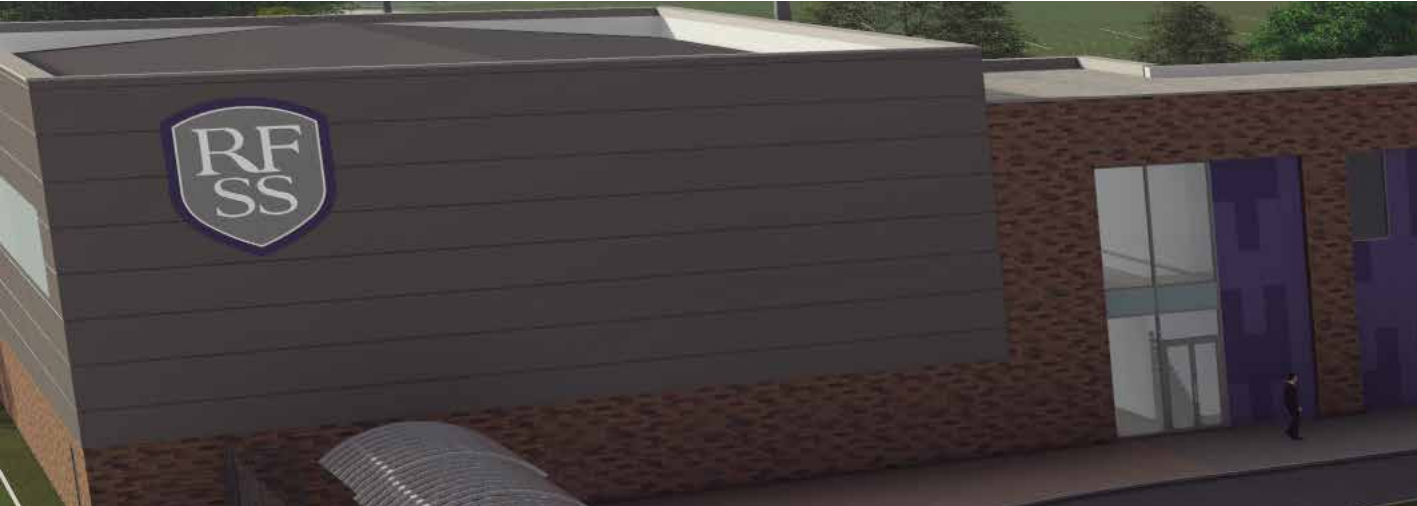
Signage will be provided to the site entrances to clearly identify information about each school and in appropriate locations to direct all users to the appropriate access routes and within each car park area. Within the site, signage will be low key and limited to wayfinding and some safety signage. All signage would be non-illuminated except for some internally located statutory signage for emergency escape.



Whilst the layout of both schools supports good wayfinding, signage is never the less important for the successful operation and management of the school.

The main entrance elevation of the Rugby Free Secondary School building includes the school logo set against the composite cladding with the school name set in aluminium lettering on the southern façade.

The Quest Academy signage similarly proposes simple aluminium letter on the the entrance façade of the building.



3D Illustration - Signage

6.4 EXTERNAL PLANT

The school buldings have been designed to maximise the use of natural ventilation and light. As such, the only areas requiring mechanical ventilation are kitchens within each building, showers within the Sports Hall, land locked rooms and dining areas / café.

Plant associated these areas is to be placed on the roof of the secondary school building and an external plant well on the Quest Academy building. The specification of all external plant items proposed will be in accordance with the appropriate noise rating as required by the acoustician’s report, and a detailed specification will be provided once the building design is approved.

As such the requirements under Condition 27 to ensure plant noise has been assessed to protect the amenity of neighbouring properties has been met.

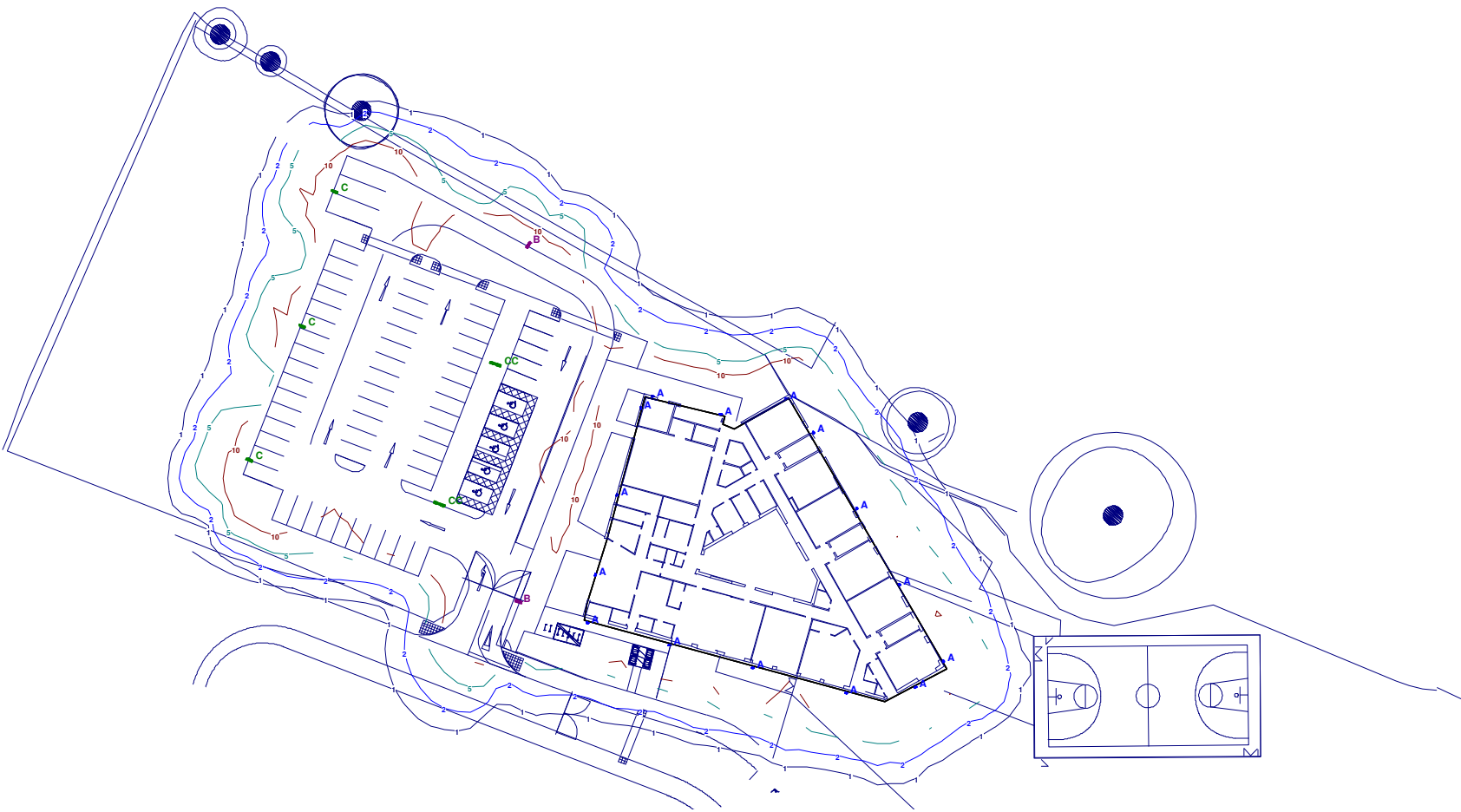
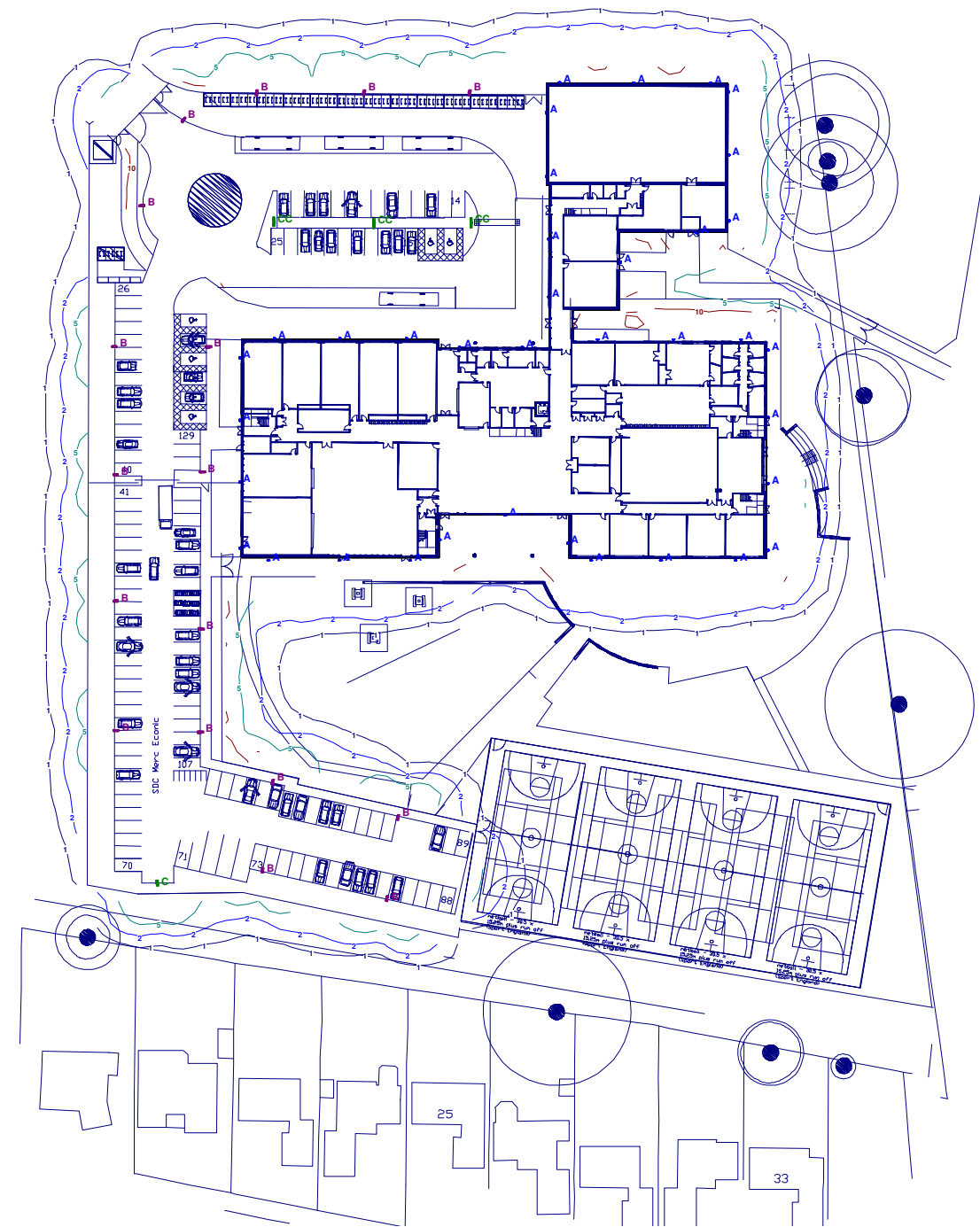
6.5 EXTERNAL LIGHTING

External lighting is required for statutory requirements and to provide safe wayfinding after dark. Statutory lighting is required and will be provided adjacent to final fire exits and for safe escape route around the school buildings and Sports Hall to an area of safety.

There will be external lighting associated with the use of the car parking areas and the route to the building entrance. Some external lighting will also be provided to the kitchen service areas.

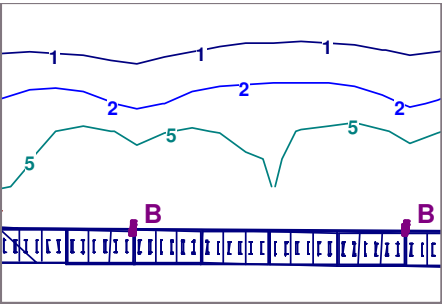
An external lighting scheme has been prepared and is included in the RM submission. It is not proposed that the sports pitches or MUGA will be floodlit and all lighting is specified to protect ecologically sensitive areas and ensure the residential amenity of neighbouring dwellings is maintained by the appropriate control of illumination levels and light spread. The lighting specification is also supported by an assessment to demonstrate suitable light levels in accordance with Condition 25.

FIGURE 10: EXTERNAL LIGHTING PROPOSAL



Quest Academy Lighting Proposal						
Description	Symbol	Avg	Max	Min	Min/Max	Min/Avg
Entire Area	+	2 lux	29 lux	0 lux	0.00	0.00
Building Perimeter	■	19 lux	46 lux	8 lux	0.17	0.42
Car Park	■	20 lux	54 lux	8 lux	0.15	0.40

Key:
Proposed Lux Level Contours



Secondary School Lighting Proposal						
Description	Symbol	Avg	Max	Min	Min/Max	Min/Avg
Bus and Cycle Parking	+	24 lux	38 lux	11 lux	0.29	0.46
Central Parking	■	24 lux	55 lux	10 lux	0.18	0.42
Central Path	■	14 lux	24 lux	8 lux	0.33	0.57
Entire Area	+	1 lux	13 lux	0 lux	0.00	0.00
South West Parking	◇	25 lux	45 lux	10 lux	0.22	0.40
Southern Building Perimeter	✕	21 lux	51 lux	8 lux	0.16	0.38



Typical Fittings - Post and Wall

7.1 OPP APPROVED SITE ACCESS

The OPP includes the approval of the site access from Long Furlong, the design of which was illustrated in drawing ref. T16514 007 Rev B. This approved access proposes a 6m wide carriageway with 3m wide shared cycle and footpaths running either side of the entrance and associated access road.

Further to the OPA, details of the proposed turning head that will be provided at the limit of adoption of the site access road have also been provided. The extent of adoption will extend along the site access road up to and including the proposed turning head. The proposed turning head allows for a large refuse vehicle (11.22m in length) to turn around without conflict.

7.2 CIRCULATION

The internal layout of the development has been designed to incorporate the approved access layout and has been prepared in consultation with WCC Highways officers to establish the parameters for all circulation and parking needs.

A new access road provides direct access to both school sites, providing a two-way carriageway 6m in width, with a 3m wide shared cycle and footpath running either side of the entrance. This has been designed to allow suitable access for all vehicles required to access the school sites (including refuse and emergency services).

The proposed internal access arrangement has been carefully considered to ensure the clear separation and/or delineation of vehicle, cycle and pedestrian routes and parking. This is essential for efficient circulation through the site and for the safe and effective operation of the schools. It is also important for the management of access during peak movement periods and to meet and maintain the servicing and operational needs of each school.

The schools have very different access needs as a result of the educational functions they are required to perform and the range of pupils they will accommodate. As a result, the staffing structure is fundamentally different in terms of the ratio of staff to pupils and the periods that staff are required to access each school. Similarly, the modes of transport used by pupils to access the site differs significantly between each school and the associated management of their arrival and departure has been proposed specifically to reflect that.

Vehicular

All vehicles enter each school site via the proposed new access road.

For Rugby Free Secondary School, all vehicles enter the school site from the new access road, which has sufficient width for vehicles to enter and leave the site at the same time. Entering vehicles access the designated spaces to the south of the access with visitors and buses/coaches circulating around the car parking area adjacent to the access gates.

For the Quest Academy, all vehicles enter the school site from the new access road, which has sufficient width for vehicles to enter and leave the site at the same time. Entering vehicles circulate around the car parking area before entering the set down area. Because of the special circumstances of the pupils they arrive individually in separate vehicles and sufficient space has been provided for vehicles to queue prior to and during set down.

Allowance has been made for service vehicle access within the car park with refuse bins to be collected from kerbside.

A tracking exercise has been carried out to ensure that larger vehicles such as delivery vans, minibuses, buses, and emergency vehicles can readily enter, circulate and leave the school site.

Cyclist

For the secondary school site, it is anticipated that a proportion of pupils will arrive by bicycle and sufficient cycle parking is provided adjacent to the school access gates, as noted in Section 7.3.

The special educational needs circumstances of the pupils that will attend the Quest Academy mean that no pupils will cycle to and from the school. Staff and visitors may cycle and the site can be accessed via the proposed cycle path that links with Anderson Road and Long Furlong.

Pedestrian

The proposed shared cycle footpath along each side of the new access road links to the existing footpaths along Anderson Road and Long Furlong. Access is gained to the respective school sites through the gated access. Within each school site there are designated footpaths and crossing facilities to allow convenient and safe access to the school buildings and Sports Hall.

Pedestrian routes within the secondary school site ensure safe access around the car park to the school building and Sports Hall, and lead directly to the cycle storage areas. They also direct pedestrians to the recreation areas to the west of the main building and south of the building.

All pupils of the Quest Academy will be arriving at the school by car, but allowance is made for staff and visitors to access the school site on foot along dedicated pedestrian routes. Pedestrian access to the school site and within the site is separate from vehicular access, with a pedestrian gate provided and the route to the main entrance of the school building clearly visible from this point. Pupils are dropped off or collected from the school from the dedicated hard paved area on the school side of the vehicular access and circulation area. Pupils enter the school via a separate pupil entrance outside which is an enclosed secure congregation area.

7.3 PARKING

Condition 10 requires car parking and cycle provision to be an integral of the RM submission. As noted above, the requirements for all parking have been considered with reference to RBC policy and guidance, and in consultation with WCC Highways Officers. These assumptions have also taken into account the operational requirements of each individual school, drawing on evidence of existing and comparable operations.

The OPP Condition 10 requires a minimum provision in accordance with Rugby Borough Council's relevant parking standards for primary and secondary schools. These are contained within the Council's SPD on Developer Obligations (March 2012).

In summary the proposals are in accordance with the parking standards set out within RBC's Planning Obligations SPD as summarised for both vehicles and cycles.

Vehicles

Dedicated parking for Rugby Free Secondary School is provided totalling 140 spaces. This includes 8 disabled bays and 3 minibus bays. Submitted drawing J32-2862-PS-017 Rev B illustrates the parking layout and assignment.

The scheme will provide a total charging capacity of 4 vehicles. Further to this, the required ducting to allow a further 2 columns to be added at a later date if the monitoring process shows that the demand is there will be provided. Based on the nature of the SEN requirements of the students and potential concerns on vandalism, the charging columns will be provided within the secondary school car park. The use of these will be monitored through the car parking management plan and users can be identified by the respective schools.

A bank of 8 disabled bays in the secondary school site which are located close to the building have been identified.

The Quest Academy has a high pupil to staff ratio and parking has been provided for 65 vehicles, including 5 disabled bays and 3 larger spaces for minibus. Additional minibuses can park in the line of the drop-off queuing area on the east side of the car park. During the school day the extensive set down area can be used for additional visitor parking.

Buses will not be used for pupils arriving or leaving the Quest Academy at either end of the school day. Should a bus be required for pupil transport there is an adequately sized waiting area in the drop off queuing area. Submitted drawing J32-2862-PS-018 Rev C illustrates the parking layout and assignment.

Cycles

Provision is made for cycles across the development, relevant to the operations of each school. Specifically this provides 158 cycle parking spaces for students, staff and visitors of the secondary school, and 10 spaces at the Quest Academy.

The location and design of cycle spaces has been considered to ensure cycle storage is secure and located with appropriate surveillance from school buildings and within an appropriate proximity to the school entrance.

FIGURE 11: ACCESS MANAGEMENT

7.4 PICK UP & DROP OFF

Management

The car parks for both schools will be managed through a formal car parking management plan. This will be prepared in consultation with WCC Highways and completed at a later date prior to occupation.

The management arrangements prepared in consultation with WCC Highways will form part of a School Travel Plan for each school that will be prepared and agreed with WCC prior to occupation of the schools in accordance with Condition 43.

The Quest Academy will manage the arrival and departure of pupils. There is a high staff to pupil ratio and it is recognised that pupils will require a high level of supervision. Pupils will arrive by taxi or private cars and will be escorted by staff into the adjacent pupil entrance.

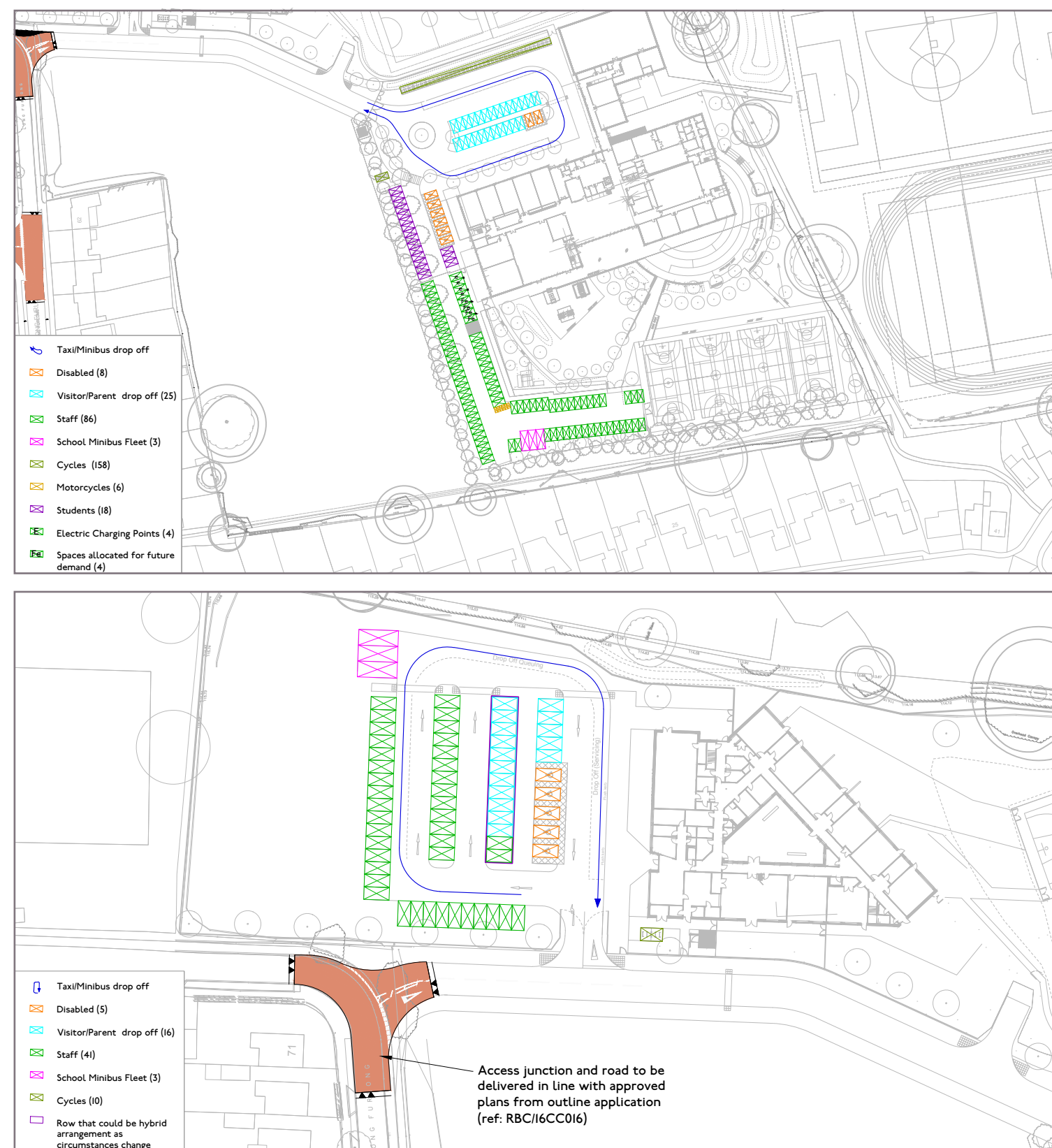
7.5 INCLUSIVE ACCESS

The new facility provides a modern, barrier free environment, with the flexibility for additional adaptation and aids to be incorporated to suit individual needs if required.

Accessible parking provision is included for staff and visitors in close proximity to the new building entrance and the sixth form entrance. Adequate lighting will be provided in all parking areas and building entrances to clearly identify routes whilst minimising light pollution.

All the facilities will be step free and meet Equality Act requirements as set out in the Building Regulations and BS8300. Disabled toilets are provided in public areas. Lift access is provided adjacent to the pupil entrance area providing access to all floors. All rooms and entrances are sized for reasonable wheelchair access.

Acoustic treatments and separation will comply with relevant standards to ensure speech audibility in all spaces for the hearing impaired. Hearing loops and sound field systems will be provided where appropriate.



8.1 SUSTAINABLE CONSTRUCTION

The overarching principle for the design of all schools under the funding programme is to maximise the sustainable credentials of the development to ensure the construction of the development and its ongoing operation remain viable.

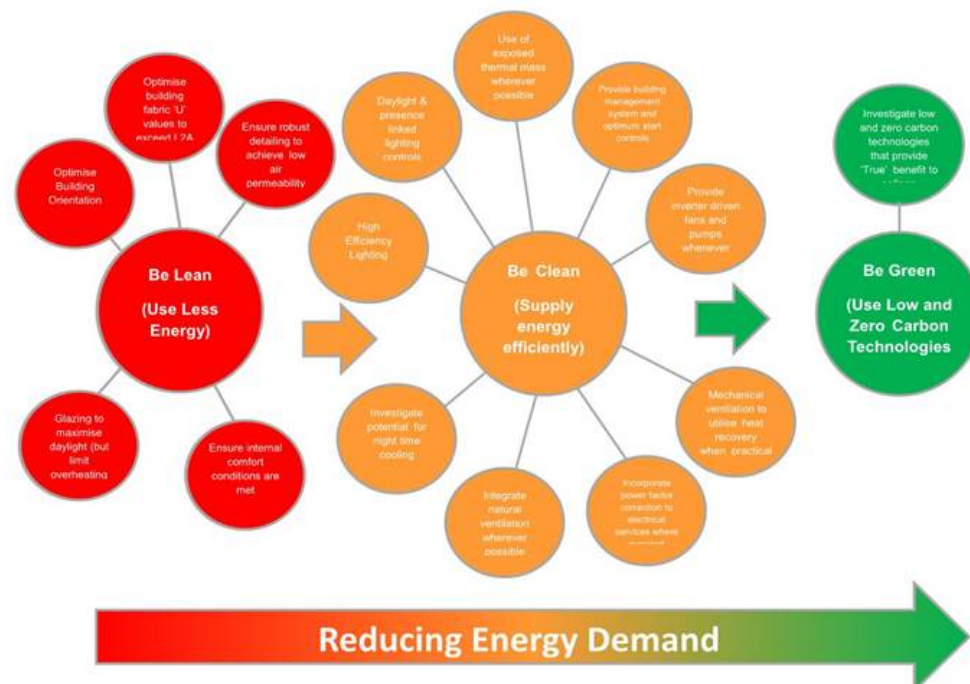
In line with the methodology set out within section 5 of the SPD we have initially considered the design of both schools to maximise energy efficiency of the installed systems i.e. high efficiency gas fired boilers etc. to compliment any renewable technology.

Our approach to providing an energy efficient building in line with the above requirements has enabled the development of a solution, which we have tested using approved DCLG software, to demonstrate compliance with Approved Document L2A 2013.

For Rugby Free Secondary School and Quest Academy, we have mapped out the sustainable design strategy that has been followed for the design of the building form, fabric and the environmental services to ensure a well-considered sustainable design solution is provided. This aims to maximise the energy efficiency of the building and thus reduces both carbon dioxide emissions and the energy demand and ultimately operating/running costs.

The strategy can be summarised below.

- **Be Lean - (Use Less Energy)**
- **Be Clean – (Supply Energy Efficiently)**
- **Be Green - (Use Renewables)**



Following the inclusion of energy efficiency measures it has been necessary to integrate renewable energy within the design to ultimately achieve the required low carbon/renewable energy contribution. Further to the feasibility appraisal set out in the Sustainability and Energy Statement we are proposing to meet this requirement by integrating approximately 340m² (280m² for Rugby Free Secondary School and 60m² for Quest Academy) of roof mounted PV panels to generate a total of 47,474kWh of electricity per year. Due to the design of the Quest Academy roof and the associated CDM issues it was agreed the requirement would be located on the roof of the secondary school building.

Through the installation of photovoltaic panels on the roof on the secondary school building, the specific requirement to provide 10% renewable energy in accordance with Condition 16 has been addressed.

This approach was agreed in principle by WCC officers during pre-application discussions, taking into account the proposed design of the Quest Academy and the desire to minimise any visual impact of these panels.

8.2 SECURED BY DESIGN

OPP Condition 11 requires the scheme to be designed to achieve “Secured by Design” (SBD) standards adopted by Warwickshire Police.

The ESFA specification for school development under the rebuilding programme seeks to ensure a robust design that addresses the needs of proposed users and the surrounding context. It does not require full SBD accreditation.

A detailed review of SBD criteria has been undertaken and the proposed scheme is substantially in accordance with many of their criteria. Those areas not in accordance with SBD criteria include windows, curtain walling and external doors. Our proposed products will have been tested and certified and will be installed in accordance with the system recommendations but our supply chain subcontractors are not accredited members.

8.3 UTILITIES & WATER SERVICES

A survey of all existing services within the vicinity of the site has been undertaken in preparing the most appropriate layout and service connections for the development, including electric, gas and water.

The proposed drainage strategy includes an adequate water supply to support the provision of fire hydrants, as advised by the Fire Service for firefighting across the site, in accordance with Condition 14.

8.4 DEMOLITION

A method statement for the demolition of the infant’s school will be prepared to ensure that the works are in accordance with Condition 23. This will be prepared by a specialist demolition contractor and submitted by BAM following approval of the detailed design and in accordance with the programme for demolition works to commence within 6 months of the building becoming vacant This method statement will be prepared in consultation with WCC officers measures and will reflect the comprehensive management regime included within the Project Management Plan that is included in the RM submission, as noted below.

8.5 CONSTRUCTION MANAGEMENT

Condition 12 requires the approval of a Construction Method Statement. This has been prepared and submitted in a format that reflects BAM’s comprehensive (and standard) approach to construction management (Ref. HMD.301 2018-01-18 CMS Rev 1).

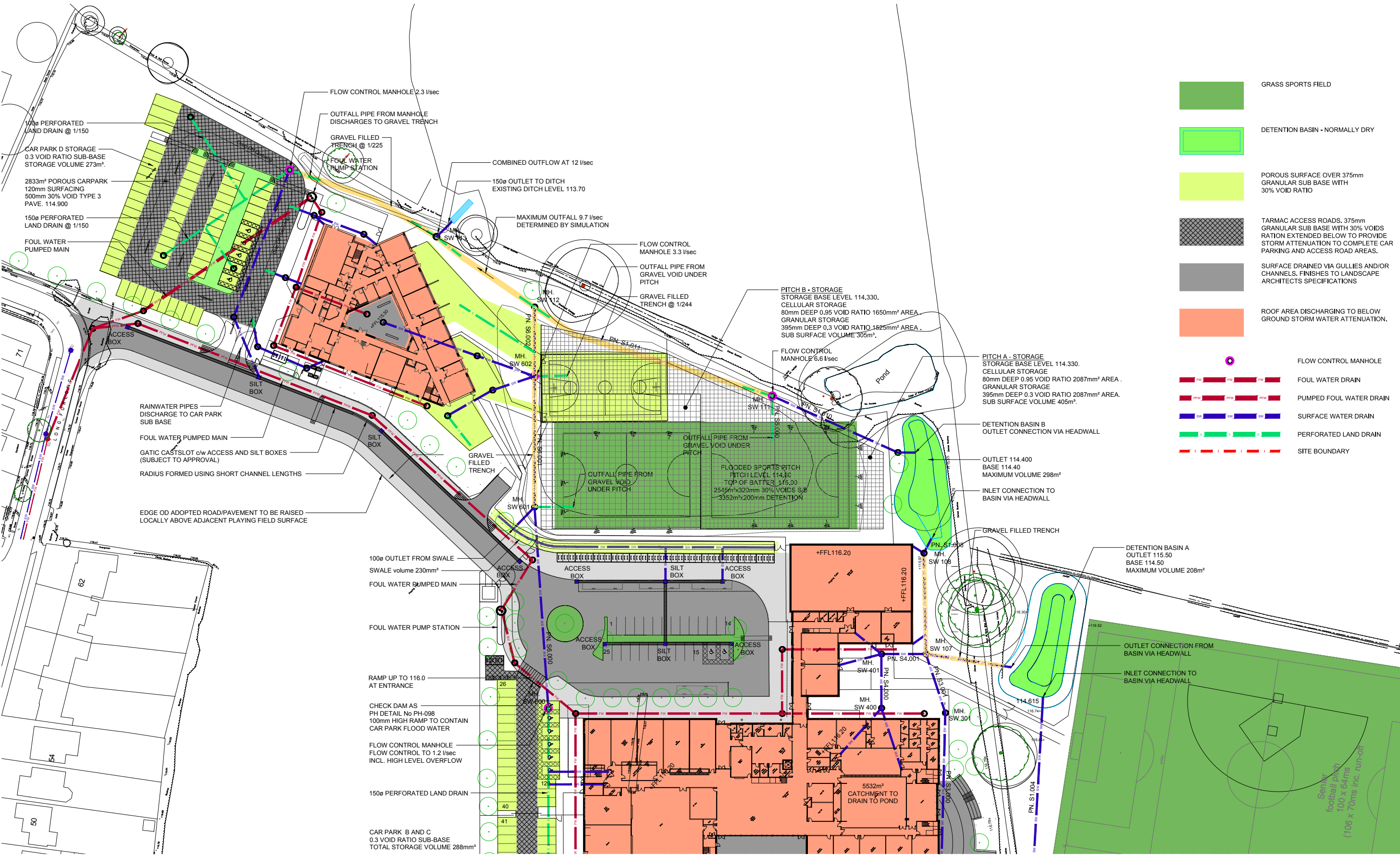
The CMS includes a summary of the key construction works, site set up, construction delivery and vehicular access, management of plant and materials, tree and hedgerow protection, parking for site operatives and visitors, street works and demolition.

Prior to commencing works on site BAM will liaise with WCC Highways and nearby schools to review and agree a school term time delivery strategy, overall site logistics plan and agree appropriate delivery restrictions to and from the site for all works.

As proposed by the relevant Environmental Health Officer site working hours, vehicle and plant movements within the construction site boundaries are proposed to be 07:00 to 18:00hrs Monday to Friday, and 08:00hrs to 13:00hrs on Saturday. Due to the nature of construction, it may be necessary to carry out some work outside these hours when the building becomes enclosed. All arrangements will be agreed with the relevant authority in advance of any such works taking place on site to ensure compliance with their requirements.

The submitted Geotechnical and Contaminated Land Assessment (Version 2.0 dated June 2017) establishes that the site does not have a history of contaminative usage and no potential sources of contaminated soils, soil gas or groundwater contamination were identified on or near the sites or found as result of fifty one samples and screening. The Construction Method Statement outlines measures within our construction method statement to be undertaken of contaminated land is found during construction works in accordance with OPP Condition 24.

FIGURE 12: SUSTAINABLE DRAINAGE STRATEGY



9.1 ARCHAEOLOGY

An archaeological desk-based assessment (DBA) of the site was carried out in conjunction with the OPA (Oxford Archaeology DBA dated October 2016). The findings of this confirmed the requirement for further intrusive investigations and these were completed in accordance with a Written Scheme of Investigation that was agreed with WCC's archaeological officer. This included trial trenching across the site that was completed and the results reported in an Archaeological Evaluation Report (Ref. RURO17 Issue 2) that also forms part of the RM submission. The results of those site investigations have been reviewed by WCC's officer and clarification sought in relation to the scope of construction works proposed by this RM submission.

The layout of development and proposed construction methodology have been issued to WCC and will be considered in conjunction with the determination of this RM submission. This will ensure that any construction works are carried out in accordance with the requirements set out by WCC, to protect any unknown archaeological features, should they be found during the construction process, and thereby conforms to the requirements of Condition 20.

9.2 OFF-SITE HIGHWAYS WORKS

The OPA considered the traffic impact of the development of both schools and associated facilities, and a number of off-site highways works were identified and approved in principle to ensure that any highways impacts were appropriately mitigated. The scope of these works is specified within OPP Conditions 37 to 42 (inclusive).

The design of off-site highway works in specific locations as required by Condition 37 (traffic calming) and Condition 39 (signalised junction) have already been approved in conjunction with the OPA, the design of crossings as required by Conditions 40, 41 and 42 is being prepared by the Applicants and separate approval will be sought in writing in relation to those. Similarly, measures to prevent the incursion of a hedgerow at 71 Furlong Road into the highway have been proposed and will be considered separately, but in parallel with the RM application to accord with Condition 38.

All necessary off-site highway works will be procured and managed by WCC (as Highway Authority) such that the works are implemented in advance of occupation of the proposed development, in order to ensure the relevant conditions noted above can be formally discharged.

9.3 BIODIVERSITY OFFSETTING

A baseline assessment of the biodiversity value of the existing site has been undertaken by Middlemarch. This has been considered against a biodiversity assessment of the submitted scheme in accordance with requirements of Condition 9 of the OPP, in order to calculate the extent of habitat (and related biodiversity) that will be lost and subsequently created as a result of the proposed development. This has been measured against the biodiversity value of the existing site, as confirmed in the submitted schedules using WCC's Assessment Calculator.

To minimise the net loss, the proposed scheme has sought to minimise the loss of existing habitat where possible and maximise the creation and/or enhancement of habitats in order to increase the biodiversity benefits as part of the proposed landscape scheme.

The balance has been calculated and the report confirms a net biodiversity loss of 5.25 units. As required by Condition 19, this net loss will be considered and an appropriate off-site mitigation strategy will be prepared and agreed by the Applicants in consultation with WCC's landscape and ecology officers and any biodiversity advisors.

9.4 COMMUNITY USE AGREEMENT

Condition 33 requires a Community Use Agreement to be prepared within 12 months of OPP being granted, in consultation with Sport England.

Rugby Free Secondary School fully supports the shared use of the Sports Hall and proposes to prepare an agreement in consultation with Sport England and representatives of WCC, RBC and local sports coaching providers and teams as appropriate to reflect the needs of the local community.

#	CONDITION WORDING	SUPPORTING RM SUBMISSION DOCUMENTS
1	Before the commencement of development, full details of the following reserved matters shall be submitted to and approved in writing by the County Planning Authority:- (a) Appearance (b) Landscaping and hard surfacing (c) Layout (d) Scale (e) Access (with the exception of access from Anderson Avenue)	Compliance Statement, plus supporting plans and illustrations as listed below: (a) Appearance – floor and roof plans, building elevations, building sections, materials palette (building and surfacing); (b) Landscaping - landscape layout, drainage layout including SUDS, planting, pitch layout, hard surfacing materials including car park areas, paths); (c) Layout - site layout, block plan, parking layout internal access arrangement for vehicles/pedestrians; (d) Scale - site sections, levels plans; (e) Access - internal access layout for all users, parking and circulation, vehicle tracking, surface treatment, links to external access routes and parking areas.
2	Applications for approval of the reserved matters shall be made to the County Planning Authority before the expiration of three years from the date of this permission and the development shall be begun either before the expiration of five years from the date of this permission, or before the expiration of two years from the date of approval of the last of the reserved matters to be approved, whichever is the later.	N/A
3	The reserved matters submissions shall be substantially in accordance with the land use zoning indicated on the concept masterplan reference number 015232_SK034 Rev A and in accordance with the maximum numbers of storeys for buildings indicated on the parameters masterplan reference number 015232_SK031 Rev A.	Compliance Statement
4	The reserved matters to be submitted in accordance with condition 1 shall include details of all earthworks and the finished floor levels of buildings together with details of existing and proposed site levels on the application site and the relationship with adjacent land and buildings.	Compliance Statement (Sections 4.2 and 4.4), plus: - Topographical survey (appended to Below Ground Drainage Concept Report) - Site Levels Strategy - Levels Plans - Site Sections
5	The Sports Hall hereby permitted shall not be constructed other than substantially in accordance with Sport England's Technical Design Guidance Note: Sports Halls – Design and Layout.	Compliance Statement (Section 3.4)
6	No development shall take place underneath the canopies or within the root plates of the trees located on the boundaries of the site or within the canopies and root plates of the trees and hedgerow separating the new school campus from the new playing fields to the south other than that specifically granted permission by condition 7 of this permission.	Compliance Statement (Section 5.3), plus - Arboricultural Impact Assessment (including Tree Retention Plan) - Site Masterplan
7	No access points shall be created through the hedgerow separating the new school campus from the new school playing fields other than those access points specifically approved as part of the Reserved Matter submissions approved pursuant to this permission and the hedgerow shall be retained and maintained in accordance with a management regime which shall be submitted to and approved in writing by the County Planning Authority as part of the Reserved Matter submissions required by condition 1 of this permission.	Compliance Statement (Section 5.3), plus - Arboricultural Impact Assessment (including Tree Retention Plan) - Site Masterplan
8	No development, fencing or amenity planting shall take place within 5 metres of the centre line of the bridleway No. RB30, which runs along the western boundary of the site.	Compliance Statement (Section 4.7), plus: - Site Masterplan
9	Details of measures to be taken on-site to preserve and enhance the biodiversity value of the application site shall be submitted as an integral part of the Reserved Matters submissions required by condition 1 of these conditions, along with details of existing baselines and a timetable showing how those measures will be sequenced with the development. The measures shall be designed to avoid net biodiversity loss so far as reasonably practicable. The measures approved by the County Planning Authority in writing (or any variations subsequently so approved) shall be implemented.	Compliance Statement (Sections 5.0 and 9.0), plus: - Biodiversity Offsetting Assessment Tables - Planting Plans
10	Car parking and cycle provision shall be made within the site as an integral part of the Reserved Matter submission(s). This provision shall as a minimum be in accordance with the on-site car parking standards adopted by Rugby Borough Council for low accessibility areas. The entire approved provision shall be made available for use on the site before the schools which they are intended to serve are first occupied.	Compliance Statement (Sections 3.6 and 7.3), plus: - Transport Technical Note
11	All Reserved Matters applications submitted pursuant to this permission shall be designed to achieve "Secured by Design" standards adopted by Warwickshire Police.	Compliance Statement (Section 8.2)

#	CONDITION WORDING	SUPPORTING RM SUBMISSION DOCUMENTS
12	<p>Before the commencement of development a Construction Method Statement (CMS) shall be submitted to and approved in writing by the County Planning Authority. For the purpose of this condition construction shall include demolition works and the CMS shall include details relating to:</p> <ol style="list-style-type: none"> 1. The control of noise, dust and vibration from construction activities, including groundworks and the formation of infrastructure, including arrangements to monitor noise and dust emissions from the development site during the construction phase taking into account nearby sensitive receptors; 2. The control of vehicle parking so far as it relates to vehicles brought to the locality by construction workers, visitors to the construction site(s), and delivery vehicles attending the construction site(s), with the intention that all these vehicles shall be accommodated within the construction site(s); 3. A heavy goods vehicle construction routeing plan which shall, inter alia, seek to avoid damaging existing roadside trees of amenity value; 4. Details of the unloading and storage of materials within the site and the times within which unloading and loading may occur; 5. Hours during which construction and excavation may take place within the site or in nearby streets; 6. Measures to protect Bridleway RB30 during construction; 7. Measures to ensure that mud and debris does not fall onto the public highway and that any mud or debris so falling is promptly removed. <p>Once approved the scheme shall be implemented in full and remain in operation throughout the construction period.</p>	<p>Compliance Statement (Sections 8.3 and 8.4), plus:</p> <ul style="list-style-type: none"> - Construction Method Statement
13	<p>Before the commencement of development the following documents shall be submitted to and approved in writing by the County Planning Authority:</p> <ol style="list-style-type: none"> (i) A detailed assessment of ground conditions (including drainage and topography) of the land proposed for the playing field which identifies constraints which could affect playing field quality; and (ii) Based on the results of the assessment to be carried out pursuant to (i) above, a detailed scheme which ensures that the playing field will be provided to an acceptable quality. The scheme shall include a written specification of soils structure, proposed drainage, cultivation and other operations associated with grass and sports turf establishment and a programme of implementation. <p>The approved scheme shall be carried out in full and in accordance with a timeframe agreed with the County Planning Authority. The land shall thereafter be maintained in accordance with the scheme and made available for playing field use in accordance with the scheme.</p>	<p>Compliance Statement (Section 4.3), plus:</p> <ul style="list-style-type: none"> - Topographical Survey - Ground Investigation / Infiltration Assessment (appended to Below Ground Drainage Concept Report) - Site Levels Strategy - Levels Plans - Sport Pitch Layouts
14	<p>Before the commencement of development a scheme for the provision of adequate water supplies and fire hydrants necessary for firefighting purposes at the site shall have been submitted to and approved in writing by the County Planning Authority. The development shall not then be occupied until the scheme has been implemented in full.</p>	<p>Compliance Statement (Section 8.3), plus</p> <ul style="list-style-type: none"> - Below Ground Drainage Concept Report (including Ground Investigation / Infiltration Assessment) - Drainage Layout
15	<p>Before the commencement of development the trees and hedgerows identified to be retained on the landscape plan submitted in compliance with condition 1 of this permission shall have been protected by fencing and enclosures, full design details of which shall have first been submitted to and approved in writing by the County Planning Authority prior to their installation on site. The approved tree protection scheme shall then be retained in situ and in the approved form for the duration of construction work.</p>	<p>Compliance Statement (Section 5.3), plus:</p> <ul style="list-style-type: none"> - Arboricultural Impact Assessment (including Tree Retention Plan and Arboricultural Method Statement)
16	<p>Before the commencement development a scheme for generating 10% of the predicted energy requirement of the development from decentralised renewable and/or low carbon sources shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme (or any variation of it approved in writing by the County Planning Authority) shall be implemented in each part of the development before that part is first occupied and shall remain operational for the lifetime of the development.</p>	<p>Compliance Statement (Section 8.1), plus:</p> <ul style="list-style-type: none"> - Sustainable Buildings Statement - Roof Plan
17	<p>Before the commencement of development a schedule of all external finish materials to be used on the exterior of the buildings hereby permitted shall be submitted to and approved in writing by the County Planning Authority. The development shall then be carried out in accordance with the approved details.</p>	<p>Compliance Statement (Sections 6.1 and 6.2), plus:</p> <ul style="list-style-type: none"> - Building Elevations - Materials Palette

#	CONDITION WORDING	SUPPORTING RM SUBMISSION DOCUMENTS
18	<p>Before the commencement of development, a detailed surface water drainage scheme for the site, based on sustainable drainage principles and an assessment of the hydrological and hydrogeological context of the development, together with a maintenance plan, shall be submitted to and approved in writing by the County Planning Authority. The scheme shall be implemented in accordance with the approved details before the development is completed and thereafter shall be maintained in accordance with the approved maintenance plan. The scheme to be submitted shall:</p> <ul style="list-style-type: none"> • Include details of infiltration testing undertaken in accordance with the BRE 365 guidance to clarify whether or not an infiltration type drainage strategy is an appropriate means of managing the surface water runoff from the site. • Demonstrate that the outfall solution is the highest possible in the drainage hierarchy outlined in Planning Practice Guidance, all options having been fully explored before connection to a sewer is used. • Demonstrate that the surface water drainage system(s) are designed in accordance with 'The SuDS Manual', CIRIA Report C753. • Demonstrate detailed design (plans, network details and calculations) in support of any surface water drainage scheme, including details of any attenuation system, and outfall arrangements. Calculations should demonstrate the performance of the designed system for a range of return periods and storm durations inclusive of the 1 in 1 year, 1 in 2 year, 1 in 30 year, 1 in 100 year and 1 in 100 year plus climate change return periods. • Demonstrate that any overland/exceedance flows have been considered. Details of the depths and locations of any flooding should also be provided to the Local Land Flooding Authority where the depths may be unsafe and (if required) hazard mapping to ensure the development remains safe to users of the site. • Provide evidence to show an agreement from Severn Trent Water to connect to the existing surface water network if this is to be used. <p>The maintenance plan shall give details on how surface water systems shall be maintained and managed for the lifetime of the development. The name of the party responsible, including contact name and details shall be provided.</p>	<p>Compliance Statement (Sections 4.3 and 8.1), plus:</p> <ul style="list-style-type: none"> - Below Ground Drainage Report
19	<p>Before the commencement of development, the net biodiversity impact of the development shall be measured in accordance with the DEFRA biodiversity offsetting metric as applied by Warwickshire County Council in the area in which the site is situated at the relevant time and, if the measures for on-site mitigation approved in accordance with Condition 9 of these conditions are not sufficient to prevent a net biodiversity loss, a scheme ("the scheme") to ensure that there is no net biodiversity loss as a result of the development shall be submitted to and agreed in writing by the County Planning Authority. The scheme shall include:</p> <ol style="list-style-type: none"> 1. Proposals for off-site offsetting measures; 2. A methodology for the identification of any receptor site(s) for offsetting measures; 3. The identification of any such receptor site(s); 4. The provision of arrangements to secure the delivery of any offsetting measures (including a timetable for their delivery); and 5. A management and monitoring plan (to include for the provision and maintenance of any offsetting measures in perpetuity). <p>The written approval of the County Planning Authority shall not be issued before the arrangements necessary to secure the delivery of any offsetting measures have been executed. The scheme shall be implemented in full accordance with the requirements of the scheme or any variation so approved.</p>	<p>Compliance Statement (Section 9.2), plus:</p> <ul style="list-style-type: none"> - Biodiversity Offsetting Assessment Tables - Biodiversity Offsetting Contribution Confirmation Letter
20	<p>Before the commencement of development an Archaeological Mitigation Strategy document (including a Written Scheme of Investigation for any archaeological fieldwork proposed) shall be submitted to, and approved in writing by, the County Planning Authority. This should detail a strategy to mitigate the archaeological impact of the proposed development and should be informed by the results of the archaeological evaluation.</p> <p>The development, and any archaeological fieldwork post-excavation analysis, publication of results and archive deposition detailed in the Mitigation Strategy document shall be undertaken in accordance with the approved Mitigation Strategy document.</p>	<p>Compliance Statement (Section 9.1), plus:</p> <ul style="list-style-type: none"> - Archaeological Evaluation Report

#	CONDITION WORDING	SUPPORTING RM SUBMISSION DOCUMENTS
21	Notwithstanding the provisions of Part 4 of Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any modification or re-enactment thereof) full siting details of the temporary site construction compound necessary to construct the development shall be submitted to and agreed in writing by the County Planning Authority before the commencement of development. The compound shall be sited within the development site in accordance with the details (or any variation) so approved.	Compliance Statement (Section 8.5), plus: - Construction Method Statement
22	Before the grass pitches, sports hall and courts are brought into use, a Management and Maintenance Scheme for those facilities including management responsibilities, a maintenance schedule and a mechanism for review shall be submitted to and approved in writing by the County Planning Authority. The measures set out in the approved scheme (or any variation) so approved shall be complied with in full, with effect from commencement of use of the grass pitches, sports hall and courts.	Compliance Statement (Section 5.7)
23	The former infant's school shall be demolished within 6 months of the building becoming vacant. The demolition works shall be undertaken in accordance with a scheme which shall first have been submitted to and approved in writing by the County Planning Authority and which shall ensure: a) The protection of existing trees on the site which are protected by a Tree Preservation Order. b) Suitable provision for asbestos disposal, and, c) The protection of local amenity from dust and working at anti-social hours, and, d) The minimisation of potential conflict between demolition and school traffic.	Compliance Statement (Section 8.4)
24	If, during development, contamination not previously identified is found to be present at the site then (unless otherwise agreed in writing by the County Planning Authority) no further development shall be carried out until a remediation scheme has been submitted and approved in writing by the County Planning Authority detailing how the contamination will be dealt with. The approved remediation scheme shall then be implemented in full.	Compliance Statement (Sections 8.4 and 8.5), plus: - Construction Method Statement
25	No external lighting shall be installed at the site until a scheme detailing the type, height, location, light spillage and sky glow and hours of operation of the lights has been submitted to and approved in writing by the County Planning Authority. The approved scheme (or any variation so approved) shall be installed and thereafter maintained.	Compliance Statement (Section 6.5), plus: - External Lighting Assessment - External Lighting Schemes
26	All foul water sewers shall be designed so as to prevent grease and fat passing into the public sewers in accordance with a scheme which shall first have been submitted to and approved in writing by the County Planning Authority before the installation of those sewers. The approved scheme shall then be installed on site in accordance with the approved specifications.	N/A
27	No plant or equipment (fans, coolers etc.) shall be permanently installed on site without first being the subject of a Noise Impact Assessment which shall first have been submitted to and approved in writing by the County Planning Authority. Such equipment shall be installed and maintained in accordance with the specifications detailed in the Noise Impact Assessment.	Compliance Statement (Section 6.4)
28	The development hereby permitted shall be carried out strictly in accordance with the approved Flood Risk Assessment (FRA) Alan Wood: Flood Risk and Drainage Assessment Rokeby School Campus, Rugby Rev A 19/05/2017 (or any other Flood Risk Assessment approved as part of the Reserved Matters submissions required by condition 1 of this permission) and in particular the following mitigation measures detailed within the FRA (or their equivalent in any other Flood Risk Assessment approved as part of the Reserved Matters submissions): <ul style="list-style-type: none"> Limit the discharge rate generated by all rainfall events up to and including the 100 year plus 40% (allowance for climate change) critical rain storm to 11.88 l/s for the site. Provision of surface water attenuation storage as stated within the FRA of 2180m³ and/ or in accordance with 'Science Report SC030219 Rainfall Management for Developments'. A minimum of two trains of treatment of surface water using the proposed above ground drainage features within the drainage design. The mitigation measures shall be fully implemented prior to occupation and subsequently in accordance with the timing and phasing arrangements in the FRA.	Compliance Statement (Section 4.3), plus: - Below Ground Drainage Report - Below Ground Drainage Layout

#	CONDITION WORDING	SUPPORTING RM SUBMISSION DOCUMENTS
29	The landscaping scheme approved pursuant to condition 1 of this permission shall be implemented in the first planting season following completion of the development hereby approved and, unless otherwise agreed in writing by the County Planning Authority, should any plants/trees planted as part of the landscaping scheme die, be removed or become damaged or seriously diseased within five years of the initial planting they shall be replaced in the next planting season with others of a similar size and species.	N/A
30	There shall be no alterations to natural ground levels underneath the canopies or within the rootplates of the retained trees referred to in condition 15 of this permission.	Compliance Statement (Section 5.3), plus: - Arboricultural Impact Assessment (including Tree Preservation Plan and Arboricultural Method Statement) - Site Masterplan - Levels Plans
31	Should any excavation be necessary under the canopy or within the rootplates of the retained trees referred to in condition 15 of this permission then tree protection measures must be submitted to and approved in writing by the County Planning Authority prior to the carrying out of any such excavations and all excavation works must be carried out in accordance with the agreed measures.	Compliance Statement (Section 5.3), plus: - Arboricultural Impact Assessment (including Tree Preservation Plan)
32	During construction works no storage of materials, chemicals, fuel, machinery or lighting of fires or movement of vehicles shall take place under the canopies or within the rootplates of the retained trees referred to in condition 15 of this permission.	Compliance Statement (Section 8.5), plus: - Construction Method Statement
33	Within 12 months of the date of this permission a community use agreement prepared in consultation with Sport England shall have been submitted to and approved in writing by the County Planning Authority, and a copy of the completed approved agreement shall have been provided to the County Planning Authority. The agreement shall apply to sports facilities and include details of pricing policy, hours of use, access by non-educational establishment users, management responsibilities and a mechanism for review, and anything else which the County Planning Authority considers necessary in order to secure the effective community use of the facilities. The development shall not be used at any time other than in strict compliance with the approved agreement.	Compliance Statement (Section 9.4)
34	Neither the new Special Education Needs School or the approved secondary school shall be occupied until the area of open space located to the north west of the application site has been made available as public open space for the long term use of local residents in accordance with a scheme which shall have first been submitted to and approved in writing by the County Planning Authority.	N/A
35	The movement of construction plant and equipment, including construction deliveries to and from the site shall, during the term times of Rokeby Primary School and Rugby Free School, be prohibited between the following hours: Monday to Friday - 08:15 to 09:00 hours and 15:00 to 16:15 hours. A delivery schedule for materials and plant shall be produced and observed in order to avoid conflict between construction traffic and vehicular and pedestrian traffic to the schools.	Compliance Statement (Section 8.5), plus: - Construction Method Statement
36	The development shall not be occupied until the access road, access junction and proposed pedestrian facilities have been provided in general accordance with drawing number T16514 007 Rev B.	- Transport Technical Note - Quest Academy Proposed Layout
37	The development shall not be occupied until the public highways D3420 Anderson Avenue, D3421 Long Furlong, D3422 Charlesfield Road and D3423 Rosewood Avenue have been improved so as to provide for traffic calming in general accordance with drawing number T16514 007 Rev B.	Compliance Statement (Section 9.2)
38	Prior to the development hereby approved first being used a Hedgerow Management Plan containing measures to prevent significant incursion into the highway of the existing boundary hedge for 71 Long Furlong shall be submitted to and approved in writing by the County Planning Authority. Once approved the plan shall be implemented at all times while the site is operational.	Compliance Statement (Section 9.2)

#	CONDITION WORDING	SUPPORTING RM SUBMISSION DOCUMENTS
39	The development shall not be occupied until the public highway A426 Dunchurch Road and D3416 have been improved so as to provide for a signalised junction in general accordance with drawing number T16514 008 Rev A and associated Road Safety Audit.	Compliance Statement (Section 9.2)
40	The development shall not be occupied until the public highway A426 Dunchurch Road has been improved so as to provide for a new Toucan signalised crossing in the vicinity of D3469 Overslade Lane in accordance with a scheme approved in writing by the County Planning Authority.	Compliance Statement (Section 9.2)
41	The development shall not be occupied until the public highway A426 Dunchurch Road has been improved so as to provide for a new signalised pedestrian crossing in the vicinity of D3740 Shakespeare Gardens in accordance with a scheme approved in writing by the County Planning Authority in consultation with the Highway Authority.	Compliance Statement (Section 9.2)
42	The development shall not be occupied until the public highway D3421 Long Furlong has been improved so as to provide for a new uncontrolled pedestrian crossing in the vicinity of the public right of way RB30 in accordance with a scheme approved in writing by the County Planning Authority in consultation with the Highway Authority.	Compliance Statement (Section 9.2)
43	Each school hereby permitted shall not be occupied until the applicant/developer/occupier has submitted a School Travel Plan to promote sustainable transport choices to the school, the measures proposed to be carried out within the plan to be approved by the County Planning Authority in writing, in consultation with the County Council as Highway Authority. The measures (and any variations) so approved shall continue to be implemented in full at all time. The plan shall: <ul style="list-style-type: none"> a) specify targets for the proportion of pupils and employees traveling to and from the site by foot, cycle, public transport, shared vehicles and other modes of transport which reduce emissions and the use of non-renewable fuels; b) specify policies relating to the provision and monitoring of patronage of school bus services in order to support (a) above. c) set out measures designed to achieve those targets together with timescales and arrangements for their monitoring, review and continuous improvement; d) explain and justify the targets and measures by reference to the Sustainable Travel Technical Note; e) identify a senior manager of the school with overall responsibility for the plan and a scheme for involving employees of the business in its implementation and development. 	Compliance Statement (Section 7.4), plus - Transport Technical Note
44	The reserved matters required by condition 1 of this permission relating to access shall be accompanied by a pedestrian and cyclist audit and access to and within the site shall incorporate any features recommended by that audit and required by the County Planning Authority.	- Stage 1 Non-Motorised User (NMU) Audit - Stage 1 NMU Design Response



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